



2

Planning Commission Study Session

TO: PLANNING COMMISSION

FROM: AMY TEMES, SENIOR PLANNER
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER AICP, PRINCIPAL PLANNER
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: JULY 2, 2014

SUBJECT: UP14-04 SENNA AT SANTAN VILLAGE; A CONDITIONAL USE PERMIT FOR A MULTI-FAMILY MIXED USE DEVELOPMENT IN THE REGIONAL COMMERCIAL (RC) ZONING DISTRICT ON 16.34 ACRES OF REAL PROPERTY LOCATED WEST OF THE SOUTHWEST CORNER OF SANTAN VILLAGE PARKWAY AND RAY ROAD, IN THE REGIONAL COMMERCIAL (RC) ZONING DISTRICT.

STRATEGIC INITIATIVE: Community Livability

To allow for horizontal mixed use development within Regional Commercial zoning.

RECOMMENDED MOTION

NO MOTION REQUESTED

APPLICANT/OWNER

LWI Advisory Group
John Luedtke
1155 Camino Del Mar #540
Del Mar, Ca 92014
858-750-8943
jluedtke@lwiadvisorygroup.com

BACKGROUND/DISCUSSION

History

<i>January 5, 1999</i>	Town Council approved Z98-27, Crossroads Center, by adopting Ordinance No. 1142, rezoning approximately 523 acres from Maricopa County R-43 to General Commercial (C-2) with Planned Area Development (PAD) under the, now expired, Unified Land Development Code (ULDC).
<i>November 16, 1999</i>	Town Council approved a PAD amendment to Crossroads Center (Z99-41) by adopting Ordinance No. 1230, which added 63 acres to the development and added specific development conditions.
<i>June 12, 2003</i>	Design Review Board approved DR02-24, the site plan for the Phase I of Santan Village Marketplace, which included a WalMart and Sam's Club.
<i>March 3, 2005</i>	Town Council adopted the Land Development Code by approving Ordinance No. 1625. With the adoption of the LDC, the site was zoned Regional Commercial (RC) with PAD.
<i>December 15, 2005</i>	Design Review Board approved the design guidelines for Santan Village Regional Shopping Center (RSC) (DR05-86).
<i>December 15, 2005</i>	Design Review Board approved the Preliminary Design Review (DR05-87) for Phase II of Santan Village RSC.
<i>February 16, 2006</i>	Design Review Board approved the final site plan, landscaping, grading and drainage, building elevations, and lighting for Phase II of the Santan Village RSC (DR05-122).
<i>December 12, 2008</i>	Town Council approved the removal of Parcel D from the Crossroads PAD, changing it to conventional Regional Commercial (RC) zoning in Ordinance No. 2209.
<i>August 1, 2012</i>	Planning Commission approved UP12-07, a request to permit a multi-family mixed use development in the Regional Commercial (RC) zoning district.
<i>April 11, 2013</i>	Design Review Board approved the DR12-14 the Crossroad Apartments at San Tan Village.

Overview

Multi-Family Residential is permitted within the Regional Commercial zoning district as noted in the LDC Section 2.303 per limitation L7. L7 states: Only permitted as part of an integrated, mixed use plan. Conditional Use Permit required.

Senna at SanTan Village is designed as a 208 for-sale condominium complex replacing the previously approved 366-unit Crossroads at San Tan Village Apartments (UP12-07 approved March 6, 2013). The site is part of the original 580 acre Crossroads Planned Area Development (PAD) approved in 1999 under the Unified Land Development Code (ULDC) as mixed use development centering around a community hospital and regional shopping center. The PAD was designed to include a hospital, offices, a variety of major commercial uses, entertainment venues, and multi-family residential. (See aerial photo with Crossroads PAD original boundary with Parcels A-G). Two ordinances govern the land within the PAD; Ordinances No. 1142 and No. 1230.

Parcels C and D were originally within the Crossroads PAD as the Lutheran Hospital site with associated medical uses. Parcels C and D were the only parcels within the PAD with a detailed development plan. The Lutheran Hospital was never constructed, but the development plan continued to encumber the parcels. In 2008, it was determined that amending the PAD was not a viable option due to the attached ULDC regulations and the outdated standards. Planning staff, the Town's Legal staff and the owner determined it was best to remove Parcel D from the PAD and to rezone it to conventional Regional Commercial. It was the intent that the parcel would continue to develop in a manner consistent with the Crossroads PAD, just not as a hospital. The same determination and action occurred for Parcel C in 2011. Even though the land is no longer within the Crossroads PAD, the project's architecture, landscaping, signage, and common area maintenance are integrated with the surrounding PAD via the SanTan Master Sign Program, SanTan Parcel Development guidelines, and the SanTan Property Owner's Association CC&Rs.

Parcels C and D are also tied into the overall Crossroads Development under a Planning/Development Agreement with the Town of Gilbert approved December of 2012. The agreement limits the amount of multi-family that can potentially be approved on Parcel D and limits the amount of multi-family that can be developed on Parcels A and E within the PAD.

Multi-Family Residential is a viable land use within the 202 Growth Corridor. However, is also important to retain large blocks vacant land in key locations for economic development purposes and to locate the multi-family in locations that buffer the employment/commercial uses from the surrounding single family homes. Per the Planning/Development Agreement, the total amount of land identified for multi-family on parcels A and E shall not exceed 25 acres total; 17 acres on Parcel D and the existing 16 acres on Parcel C. Under the Planning/Development agreement the total potential acreage available for multi-family in the PAD is decreased by 68 acres.

To further reinforce the mixed use component and design of the original Crossroads PAD boundary, the owner/developer agreed to stipulate that the 17 acres of land directly east of the subject property (east half of parcel D) would not be developed as multi-family and would be developed in a manner that creates horizontal integration between residential and commercial uses. The development agreement essentially reconnects the original land parcels of the PAD, and reinstates the PAD design concept and the integrated mixed use character of the development within the Crossroads PAD original boundary.

Use Permit Requirements

All Conditional Use Permits must meet 4 Finding of Fact:

- #1. The proposed use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood, or to the public in general;
- #2. The proposed use conforms with the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan adopted by the Town Council;
- #3. The proposed use conforms with the conditions, requirements, or standards required by the Zoning Code and any other applicable local, State, or Federal requirements; and

- #4. The proposed use, as conditioned, would not unreasonably interfere with the use and enjoyment of nearby properties.

Staff believes that these 4 findings are met by this project. In addition to the 4 standard findings Multi-Family Residential in Regional Commercial has 4 findings that must be met. The additional findings address whether the proposed multi-family development is part of an integrated, mixed use plan. Planning staff believes that the Planning/Development Agreement, the Crossroads PAD history/plan, the continued development of the Crossroads PAD per the original intent and the on-going development all support the mixed use development objectives:

- #5. Facilitate approval of mixed-use development projects that align with the vision, goals and policies contained in Gilbert's General Plan.
- #6. Support and encourage infill and redevelopment.
- #7. Accommodate developer interests in developing multi-family uses within Regional Commercial projects.
- #8. Use Permit Findings should ensure significant functional and physical integration of project components.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning
North	Residential > 0-1 DU/Acre and Community Commercial	Ray Road then Single Family – 43 and Community Commercial
South	Regional Commercial	Regional Commercial
East	Regional Commercial	Regional Commercial
West	Residential > 5-8 DU/Acre and Neighborhood Commercial	Coronado Road then Single Family – 6 and Neighborhood Commercial
Site	Regional Commercial	Regional Commercial

Development Standards	LDC	Provided
Maximum Height	55'	
Building Stepback within 100' of Residential	Yes if building height is over 2 story/35'	No building exceeds 2 story/35' no stepback required
Building Setback Front	25'	25' to Coronado Road
Building Setback Side to Street	20'	20' from Ray Road
Building Setback Side to Non-res.	20'	20' within Ivanhoe
Building Setback Rear	20'	20' within Columbus
Separation Between Buildings	20'	20'
Landscape Front	25'	25' to Coronado Road
Landscape Side to Street	20'	20' from Ray Road
Landscape Side to Non-res.	20'	20' within Ivanhoe
Landscape Rear to Non-res.	20'	20' within Columbus
Landscape %	15%	>15%
Parking for 208 Units	416 Unit Spaces 52 Visitor Spaces 468 Total Parking Spaces	506 Parking Spaces

Discussion

In order for the Use Permit to be approved, the Planning Commission must agree that the project meets the four additional findings for Multi-Family Residential in Regional Commercial as integrated mixed use development. Below are the four additional findings and the discussion regarding the project. Staff is requesting input from the Planning Commission about the project as depicted.

Finding #5: Mixed Land Uses - The proposed project demonstrates that land uses are mixed on-site or are mixed in combination with adjacent uses (existing or planned). A mixed-use development is an efficient integration (horizontally or vertically) of non-residential and residential uses that cultivates a sense of community in a live, work and play environment.

As noted above, the land parcel was removed from the PAD due to a legal decision. It is the intent of the master developer and the current owner to continue to develop all of the land within the original Crossroads PAD boundary as initially intended. The intent is further contractually tied through a Development Agreement, SanTan Master Developer Architectural Review, SanTan Village Master Sign Program, SanTan Village Parcel Development guidelines, and the SanTan Village Property Owner's Association CC&Rs. The Crossroads PAD is truly a mixed-use integrated project.

The residential in the north end of the PAD is within walking distance to the hotel amenities, the conference center, the retail and the mall. The project site itself proposes urban streetscape with on-street parking and a plaza at the southeast corner for community gathering. The property to the east is obligated in the development agreement to a non-residential use that will be integrated and address the residential on this site.

Finding #6: Sustainability through Compact Design – The proposed project demonstrates that the site layout is compact and configures buildings, parking area, streets, driveway and gathering places in a way that lessens dependence on the automobile and reduces impact on the natural environment. Parking for the multi-family residential component meets multi-family residential parking requirements or an approved shared parking model.

The project connects the Crossroads PAD circulation system. Pedestrian or bicyclists may choose to walk or ride bicycles along Coronado, Ray or Santan Boulevard to access the mall and/or surrounding retail and commercial destinations. The pedestrian/bicyclist may also choose to walk or ride along the private streets known as Columbus and Ivanhoe. These streets link the development to Top Golf (1/8 mile to the east), the hotel (across the street), the mall (1/4 mile to the southeast) and future retail development across the street to the west and east.

Internally, staff would like to see a more continuous sidewalk system that does not cross the internal project street back and forth. There are over 21 disconnected sidewalk locations within the project that require a pedestrian to cross the street, walk in the street or walk in the landscape.

Finding #6 also requires the applicant meet multi-family parking standards per the LDC. It appears with the information provided that the applicant meets or exceeds the required parking. Staff has requested a detailed parking table.

Finding #7: Pedestrian Scale and Orientation – The proposed project demonstrates that all portions of the development are accessible by a direct, convenient and safe system of pedestrian facilities and the proposal provides appropriately scaled pedestrian amenities and gathering places.

What allows the connectivity between this project and the surrounding development/future development is the lack of walls. The project has a 3' low decorative screen wall around the buildings with a pedestrian gateway feature incorporated into the walkway system. Six foot walls are only utilized where drive aisles dead-end and pass through is prohibited. Staff supports the open plan and believes that this will add the maximum flexibility and connectivity to the undeveloped property to the east.



As stated under Finding #6, staff believes that the sidewalk system within the project could be more contiguous. The sidewalks on the exterior of the project connect to surrounding sidewalks and lead to major streets and/or destinations. The plaza, architecture and the amenities are at acceptable pedestrian scale.

Finding #8: Transportation and Connectivity – the proposed project demonstrates that the development provides appropriate vehicular and pedestrian connectivity that serves vehicles, pedestrians and bicycles.

The project connects to the overall sidewalk system that connects to two separate accesses to the mall across Santan Boulevard: one signalized and one that could potentially be signalized at a later date. The routes provide pedestrian and bicycle paths linking the residential to the retail component of the PAD.

STAFF REQUEST

Staff requests Planning Commission input.

Respectfully submitted,

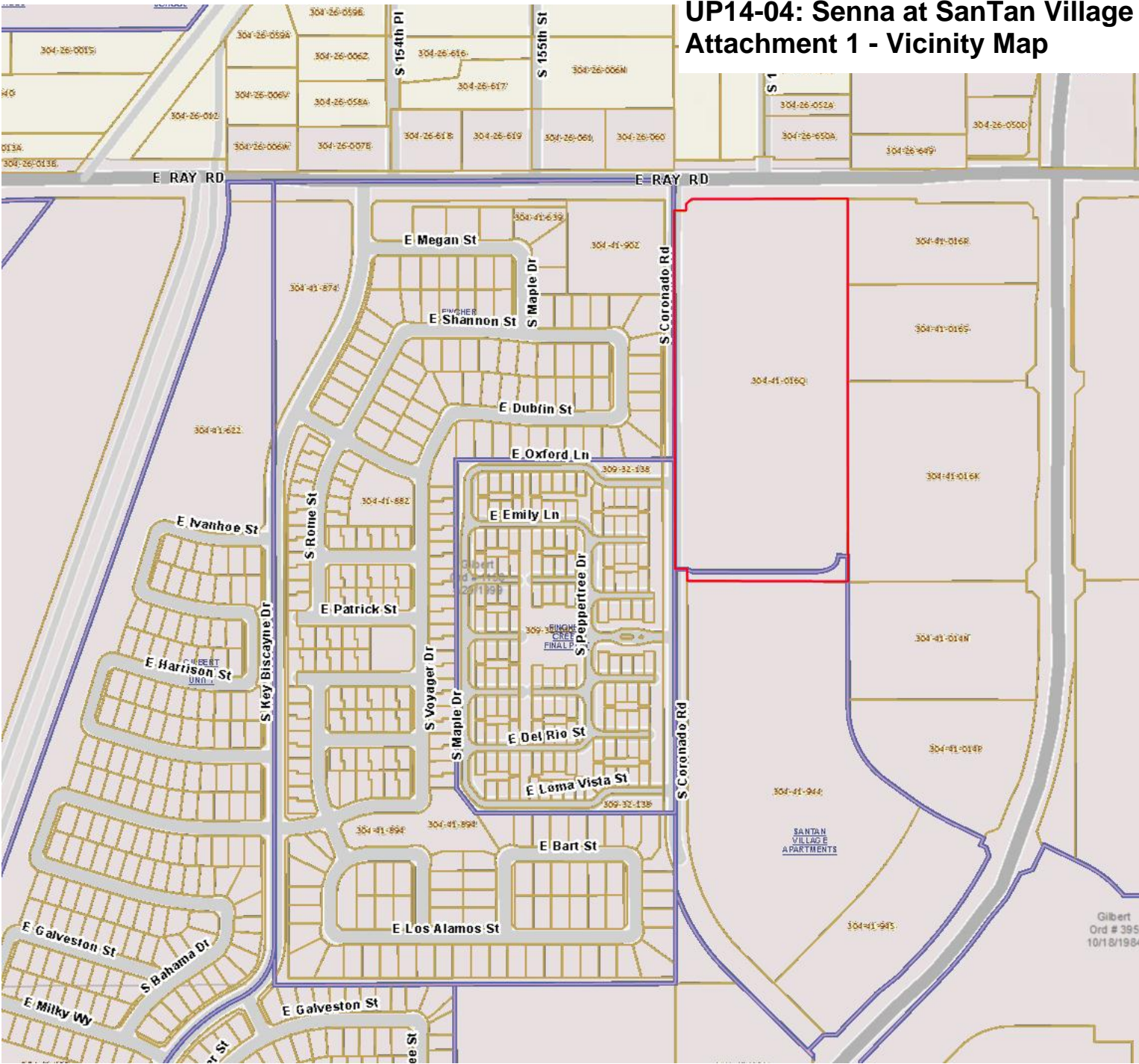


Amy Temes
Senior Planner

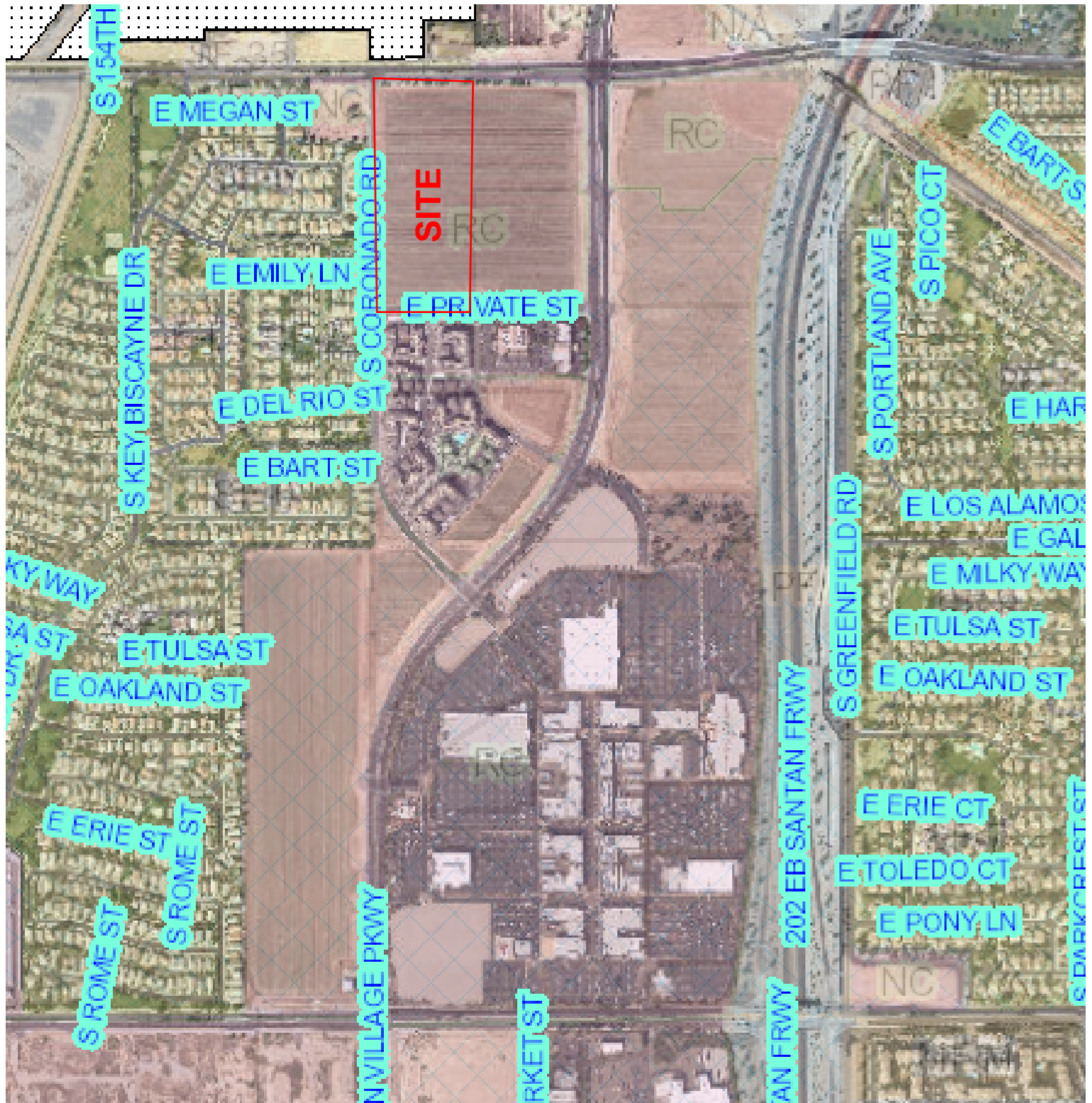
Attachments:

Attachment 1:	Vicinity Map
Attachment 2:	Aerial Photo
Attachment 3:	Site Plan / Landscape Plan
Attachment 4:	Elevations (for Reference)

UP14-04: Senna at SanTan Village
Attachment 1 - Vicinity Map



UP14-04: Senna at SanTan Village
Attachment 2 - Aerial Photo





HanmiGlobal Partner

51 W. Third Street, Suite 201
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6506

SENNA AT
SANTAN
VILLAGE
Town of Gilbert, AZ

LWI
PROPERTIES
2487 S. GILBERT RD.
STE106-210
GILBERT, AZ 85295



RENDERED
SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION

UP14-04: Senna at SanTan Village Attachment 3 - Site Plan/Landscape Plan



HARDSCAPE KEY NOTES

- | KEY | DESCRIPTION |
|-----|---|
| 1. | URBAN PLAZA |
| 2. | BENCHES |
| 3. | PERENNIAL GARDEN |
| 4. | PEDESTRIAN PORTAL WITH SCONCE LIGHTS |
| 5. | TREE GRATES |
| 6. | PEDESTRIAN GATES |
| 7. | PEDESTRIAN ACCENT PAVING - CONCRETE PAVERS |
| 8. | 5' WIDE SALT FINISH SIDEWALKS (TYP.) |
| 9. | 6' WIDE SALT FINISH SIDEWALKS (TYP.) |
| 10. | A.D.A. RAMP |
| 11. | LANDSCAPE / BUILDING SET BACK |
| 12. | FIRE HYDRANTS |
| 13. | BIKE RACKS |
| 14. | PROPERTY LINE |
| 15. | MAILBOX KIOSK |
| 16. | POOL |
| 17. | KOOL DECK - COLOR |
| 18. | 6' HT. POOL FENCE & COLUMNS |
| 19. | SPA |
| 20. | SHADE STRUCTURE |
| 21. | PLAYGROUND STRUCTURE IN SAND BED WITH CONCRETE HEADER |
| 22. | BBQ AREA |
| 23. | FIRE TROUGH / FIRE PIT |
| 24. | PEDESTRIAN GATES & COLUMNS |
| 25. | AUTO ENTRY COURT WITH ACCENT PAVING |
| 26. | SITE DIRECTORY |
| 27. | ENTRY SIGNAGE 'S-S' AS PER SANTAN VILLAGE MASTER SIGN PROGRAM |
| 28. | VEHICULAR ACCENT PAVING - INTEGRAL COLORED CONCRETE, WASHED AGGREGATE FINISH |
| 29. | VEHICULAR ACCENT PAVING - INTEGRAL COLORED CONCRETE, SMOOTH TROWEL FINISH |
| 30. | VEHICULAR ACCENT PAVING - CONCRETE PAVERS |
| 31. | PARALLEL PARKING |
| 32. | GUEST PARKING |
| 33. | TRASH ENCLOSURE |
| 34. | RECYCLING ENCLOSURE |
| 35. | MASONRY WALL, GROUND FACE CMU, 3' HT |
| 36. | MASONRY WALL, GROUND FACE CMU, 6' HT |
| 37. | PLANT MATERIAL IN R.O.W. TO REMAIN, COORDINATE WITH TOWN OF GILBERT TO RESTORE PLANT MATERIAL TO AS-BUILT CONDITION |
| 38. | FAIR HOUSING PATH OF TRAVEL |

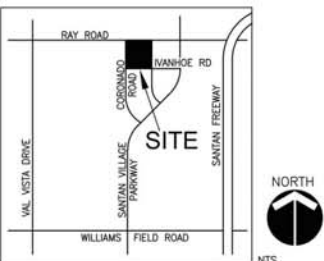
PHASE BOUNDARY

SIGHT VISIBILITY TRIANGLES
PER TOWN OF GILBERT
STANDARD DETAIL NO.92

* TYPE B ADAPTABLE UNITS
PER FHA

NOTES:
* REFER TO SHEET L5.0 FOR ADDITIONAL DETAILS
* REFER TO SHEET L5.1 FOR PRELIMINARY MATERIAL CHARACTER IMAGES

VICINITY MAP



NORTH

0' 20' 50' 100'

SCALE: 1"=50'0"



#	Date	Description
05/21/2014		Revisions
		Date
		SG, MS
		Designed By
		AF, BJ, SG, SQ, ZW
		Drawn By
		MS, SG
		Checked By
		17174
		Project Number
		L2.1
		Sheet Number
		Copyright 2014 © Sheet of XX

If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.

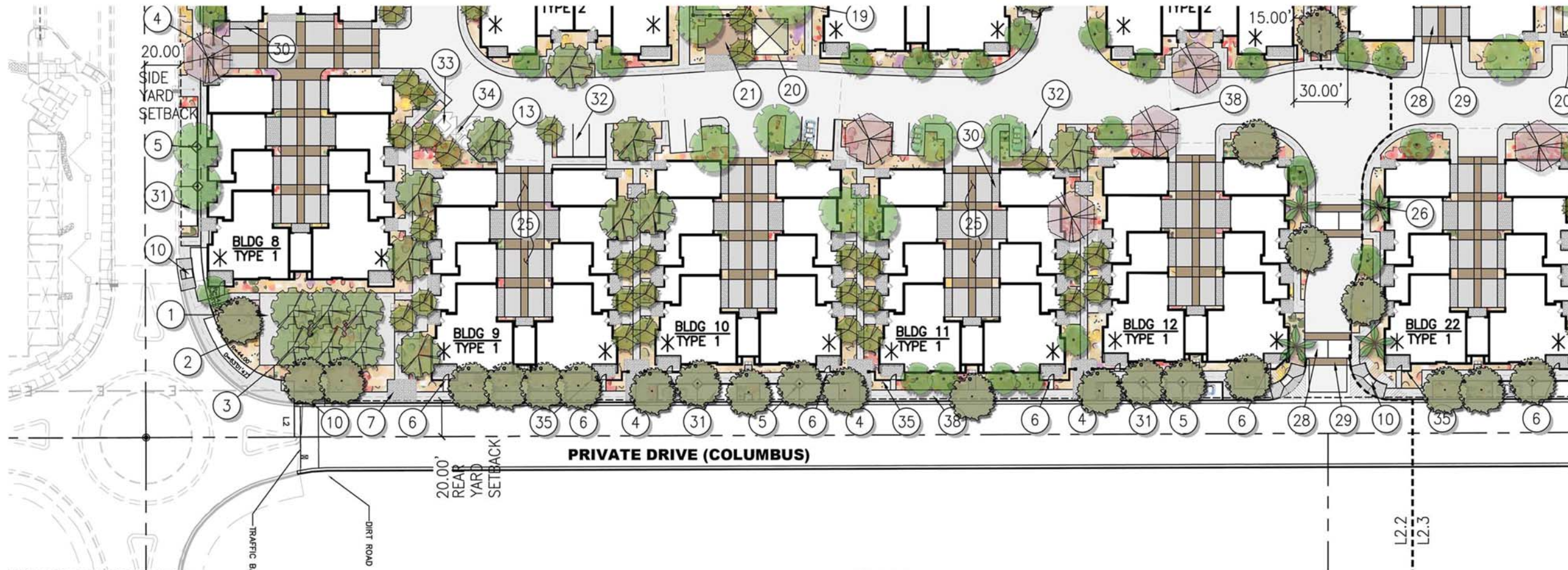


COLOR SCHEME 1
BUILDING 9

COLOR SCHEME 3
BUILDING 10

COLOR SCHEME 2
BUILDING 11

COLOR SCHEME 1
BUILDING 12



HARDSCAPE KEY NOTES

- | KEY | DESCRIPTION |
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| 38. | FAIR HOUSING PATH OF TRAVEL |

NOTES:
* REFER TO SHEET L5.0 FOR ADDITIONAL DETAILS
* REFER TO SHEET L5.1 FOR PRELIMINARY MATERIAL CHARACTER IMAGES

PHASE BOUNDARY

SIGHT VISIBILITY TRIANGLES PER TOWN OF GILBERT STANDARD DETAIL NO.92

* TYPE B ADAPTABLE UNITS PER FHA

NORTH

0' 10' 30' 60'

SCALE: 1"=30'0"

Call at least two full working days before you begin excavation.

ARIZONA 811
Arizona Statewide Utility Service

800-485-8111 or 1-800-STAR-811 (782-8111)
In Maricopa County: (602) 263-1100

PRELIMINARY NOT FOR CONSTRUCTION

LWI PROPERTIES
2487 S. GILBERT RD.
STE106-210
GILBERT, AZ 85295



URBAN EDGE
CONDITION

#	Date	Description
1	05/21/2014	Revisions
2		
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Revisions

05/21/2014

Date

SG, MS

Designed By

AF, BJ, SG, SQ, ZW

Drawn By

MS, SG

Checked By

17174

Project Number

L2.2

Sheet Number

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If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.



Ground Face Masonry
Trendstone Plus
Color: Rutherford Gray



Ground Face Masonry
Trendstone Plus
Color: Opal



Ground Face Masonry
Trendstone Plus
Color: Desert Yellow



Concrete Pavers
Pavestone
Color: Charcoal



Concrete Pavers
Pavestone
Color: Two Tone Brown



Concrete Pavers
Pavestone
Color: Old Town Blend



Gray Salt Finish Concrete at
Sidewalk



Pool Deck Surface
Kool Deck
Color: Sedona Tan



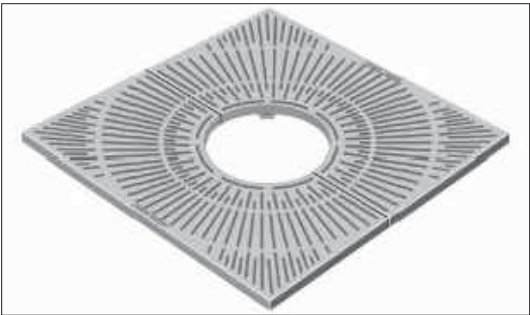
Washed Aggregate Finish
at driveways



2'-3' Black Lava Rock
for Fire Pit



Bench
Forms+Surfaces
Model: Balance Bench
Size: 6'-3" Length
Material: Powdercoated Aluminum
Color: Textured Aluminum



Tree Grate
Neenah Foundry
Style: Metropolitan Collection
Size: 4'-6" Square
Cast Iron, Natural Finish



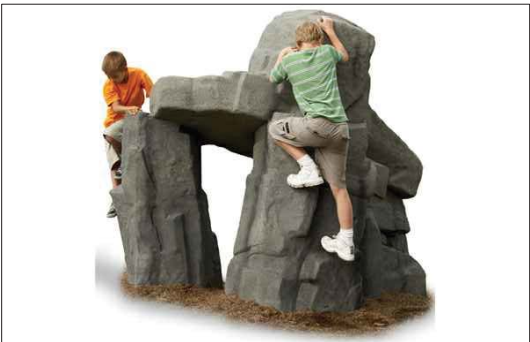
Bike Rack
Forms+Surfaces
Model: Bike Garden
Size: Approx. 27" HT through 36" HT
Material: Stainless Steel
Color: Textured Aluminum



30" Built-in Gas Grill
Twin Eagles
Stainless Steel



Litter Receptacle
Forms+Surfaces
Model: Knight
Size: Approx. 36" HT 21" SQ
Material: Powdercoated Aluminum
Color: Textured Slate



Ridge Boulder Play Structure
Playworld Systems
Material: PolyFiberCrete
Color: Desert Sand
Play Feature Size: 7'5" x 5'2" x 6'0"
Safety Zone Size: 18'8" x 16'5"



Log Hop
Playworld Systems
Height: 12" or 16"



HammiGlobal Partner

51 W. Third Street, Suite 201
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6506

SENNA AT
SANTAN
VILLAGE

Town of Gilbert, AZ

LWI
PROPERTIES

2487 S. GILBERT RD.
STE106-210
GILBERT, AZ 85295



LANDSCAPE
MATERIALS

PRELIMINARY NOT FOR CONSTRUCTION

1	MAY 2014	1st Review

#	Date	Description
Revisions		
05/22/2014		
Date		
SG, MS		
Designed By		
AF, BJ, SG, SQ, ZW		
Drawn By		
MS, SG		
Checked By		
17174		
Project Number		

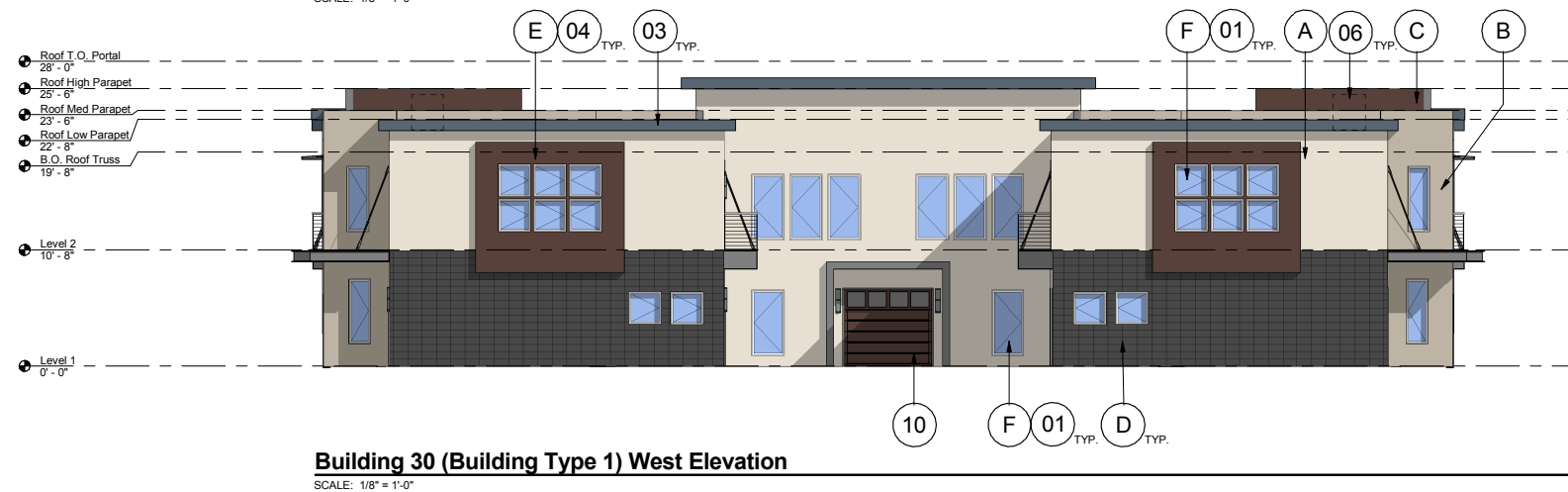
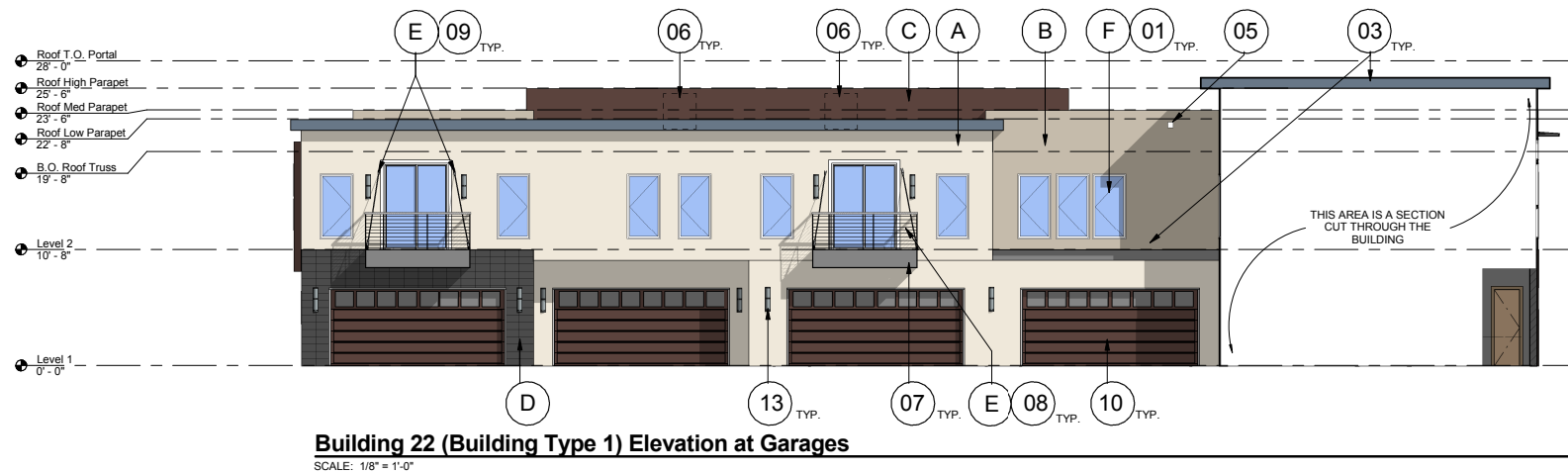
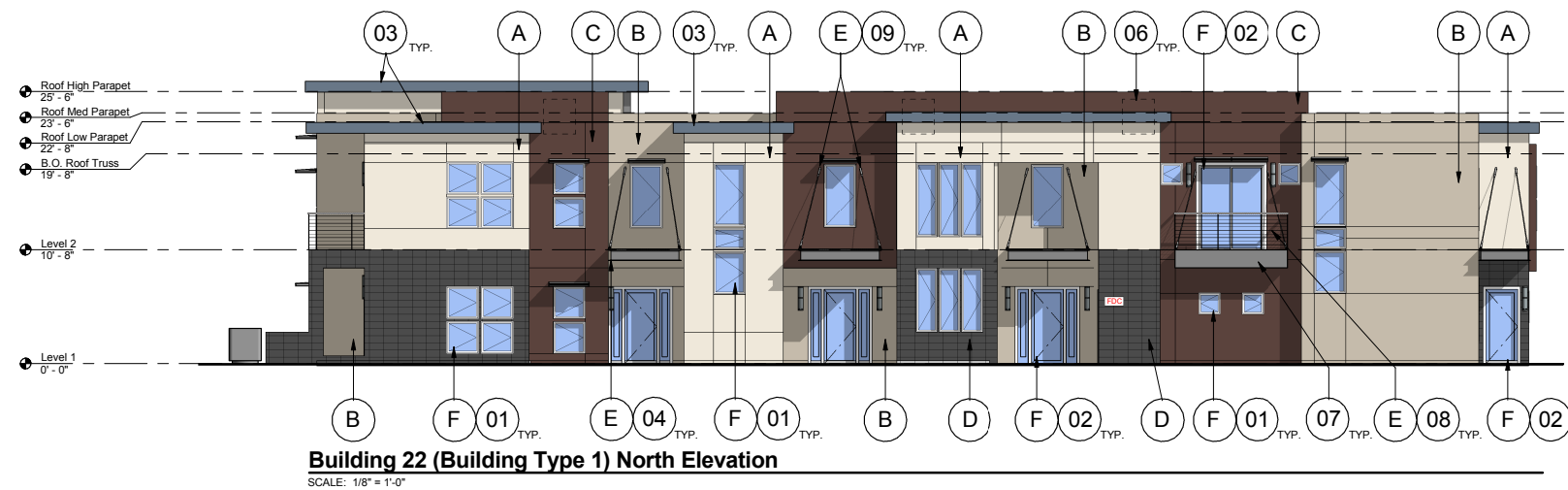
L5.1
Sheet Number
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Call at least two full working days
before you begin excavation.
Arizona Blue State, Inc.
800 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

If this drawing is less than 24" x 36", it has
been reduced. Scale accordingly.

Revit File: C:\Users\scottg\Documents\17174_SennaP1_Concept Model_RAC v14_sctg.rvt
Plot Date: 5/22/2014 2:00:35 PM



UP14-04: Senna at SanTan Village

Attachment 4: Elevations (for Reference)

NOTE:
ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. TYPES WITH COL LOCATIONS.

ROOFTOP HVAC UNITS ARE FULLY SCREENED BY PARAPETS. HVAC UNITS ON THE GROUND ARE SCREENED WITH FOLIAGE, SEE LANDSCAPE DRAWINGS.

ROOF DRAINS VIA CONCEALED INTERIOR ROOF DRAINS THAT DAYLIGHT TO NEARBY FOLIAGE.

ROOF ACCESS IS VIA INTERNAL ACCESS HATCHES.

SITE COLOR SCHEME

COLOR OPTION	BUILDING NUMBERS
OPTION 1	1, 4, 8, 13, 14, 16, 18, 22, 26, 27, 30, 31
OPTION 2	3, 5, 6, 10, 21, 24, 28, 32, 23, 29
OPTION 3	2, 7, 9, 11, 12, 15, 17, 19, 20, 25

MATERIALS LEGEND:

- A COLOR A OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- B COLOR B OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- C COLOR C OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- D CMU OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- E EXPOSED STEEL, UNPAINTED
- F VINYL, DOUBLE PANE LOW-E GLAZING TYPICAL

KEYED NOTES:

- 01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.
- 04 STEEL WINDOW SHADE ELEMENT.
- 05 ROOF DRAINAGE (OVERFLOW SCUPPERS).
- 06 MECHANICAL UNIT ON ROOF.
- 07 BALCONY.
- 08 RAILING. EXPOSED STEEL.
- 09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.
- 10 16'-0" GARAGE
- 11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING
- 12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS
- 13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.

HanmiGlobal Partner
Otak Architects, Inc
51 W 3rd Street, Suite 201
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6506

Senna at SanTan Village Phase I

Gilbert, Arizona

LWI PROPERTIES
LWI Properties

2487 S. Gilbert Road
STE106-210
Gilbert, AZ 85295

Building Type 1 Elevations Color Option 1

#	Date	Description
Revisions		
5/22/14		
Date		
SG/SQ		
Designed By		
SG/SQ		
Drawn By		
SG/SQ		
Checked By		
Proj. # 17174		
Project Number		

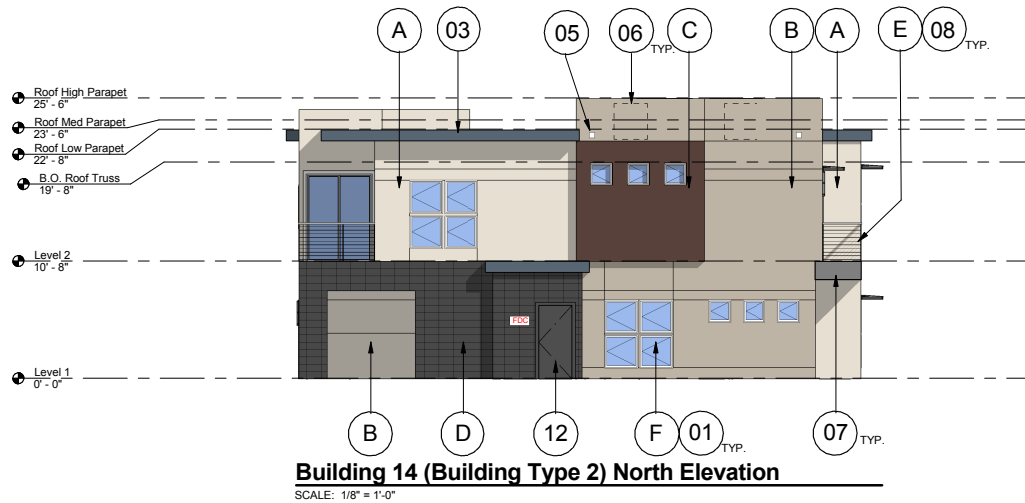
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Plot Date: 5/22/2014 2:00:41 PM



Building 14 (Building Type 2) West Elevation
SCALE: 1/8" = 1'-0"



Building 14 (Building Type 2) North Elevation
SCALE: 1/8" = 1'-0"



Building 14 (Building Type 2) East Elevation
SCALE: 1/8" = 1'-0"

NOTE:
ELEVATIONS SHOWN ARE TYPICAL FOR ALL TYPE 1 BUILDING TYPES WITH COLOR OPTION 1. SEE SITE PLAN FOR SPECIFIC LOCATIONS.

ROOFTOP HVAC UNITS ARE FULLY SCREENED BY PARAPETS. HVAC UNITS ON THE GROUND ARE SCREENED WITH FOLIAGE, SEE LANDSCAPE DRAWINGS.

ROOF DRAINS VIA CONCEALED INTERIOR ROOF DRAINS THAT DAYLIGHT TO NEARBY FOLIAGE.

ROOF ACCESS IS VIA INTERNAL ACCESS HATCHES.

SITE COLOR SCHEME

COLOR OPTION	BUILDING NUMBERS
OPTION 1	1, 4, 8, 13, 14, 16, 18, 22, 26, 27, 30, 31
OPTION 2	3, 5, 6, 10, 21, 24, 28, 32, 23, 29
OPTION 3	2, 7, 9, 11, 12, 15, 17, 19, 20, 25

MATERIALS LEGEND:

- (A) COLOR A OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (B) COLOR B OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (C) COLOR C OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (D) CMU OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (E) EXPOSED STEEL, UNPAINTED
- (F) VINYL, DOUBLE PANE LOW-E GLAZING TYPICAL

KEYED NOTES:

- 01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.
- 03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.
- 04 STEEL WINDOW SHADE ELEMENT.
- 05 ROOF DRAINAGE (OVERFLOW SCUPPERS).
- 06 MECHANICAL UNIT ON ROOF.
- 07 BALCONY.
- 08 RAILING. EXPOSED STEEL.
- 09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.
- 10 16'-0" GARAGE
- 11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING
- 12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS
- 13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.



HanmiGlobal Partner
Otak Architects, Inc
51 W 3rd Street, Suite 201
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6506

Senna at
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Phase I

Gilbert, Arizona



LWI Properties

2487 S. Gilbert Road
STE106-210
Gilbert, AZ 85295

Building Type 2
Elevations
Color Options 1

#	Date	Description
Revisions		
5/22/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

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#106-210
Gilbert, AZ 85295

01 WINDOW. SEE MATERIAL BOARD FOR PRODUCT INFO.

02 DOOR. SEE MATERIAL BOARD FOR PRODUCT INFO.

03 BUILT UP FLAT ROOF, 1/2"/12" PITCH.

04 STEEL WINDOW SHADE ELEMENT.

05 ROOF DRAINAGE (OVERFLOW SCUPPERS).

06 MECHANICAL UNIT ON ROOF.

07 BALCONY.

08 RAILING. EXPOSED STEEL.

09 METAL CABLE STAY. MOUNTED TO EXTERIOR WALL.

10 16'-0" GARAGE

11 MECHANICAL UNIT ON GROUND. SEE SITE FOR SCREENING

12 FIRE RISER. WHERE OCCURS. SEE CIVIL FOR LOCATIONS

13 WALL MOUNTED LIGHTING FIXTURE. SEE PAGE E1.3 FOR CUT SHEET.

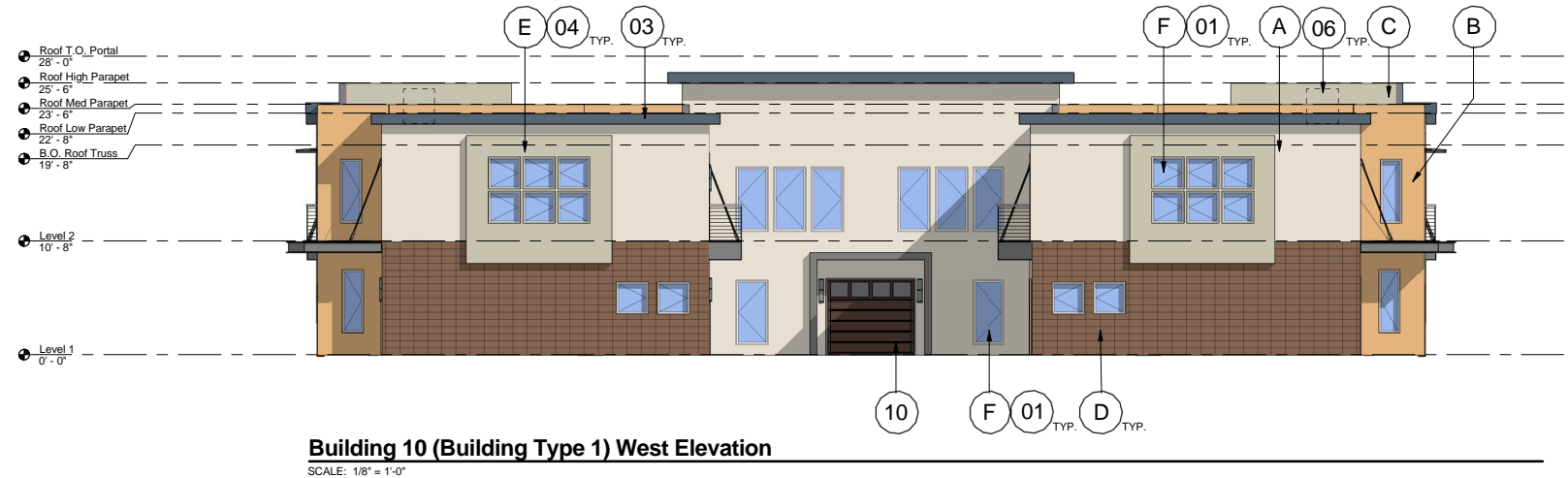
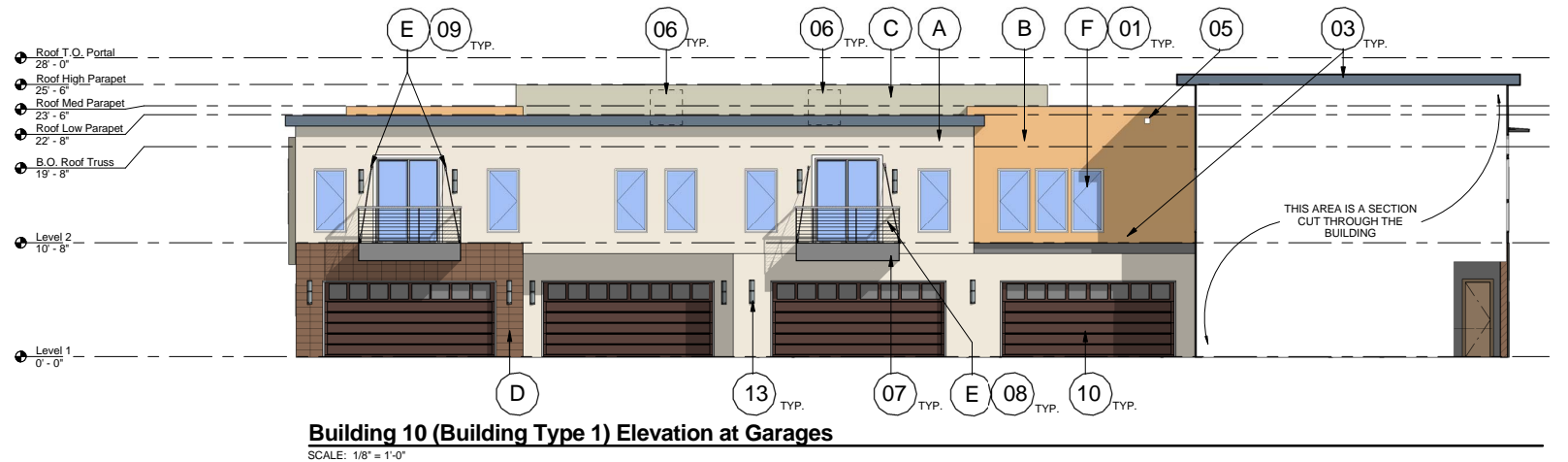
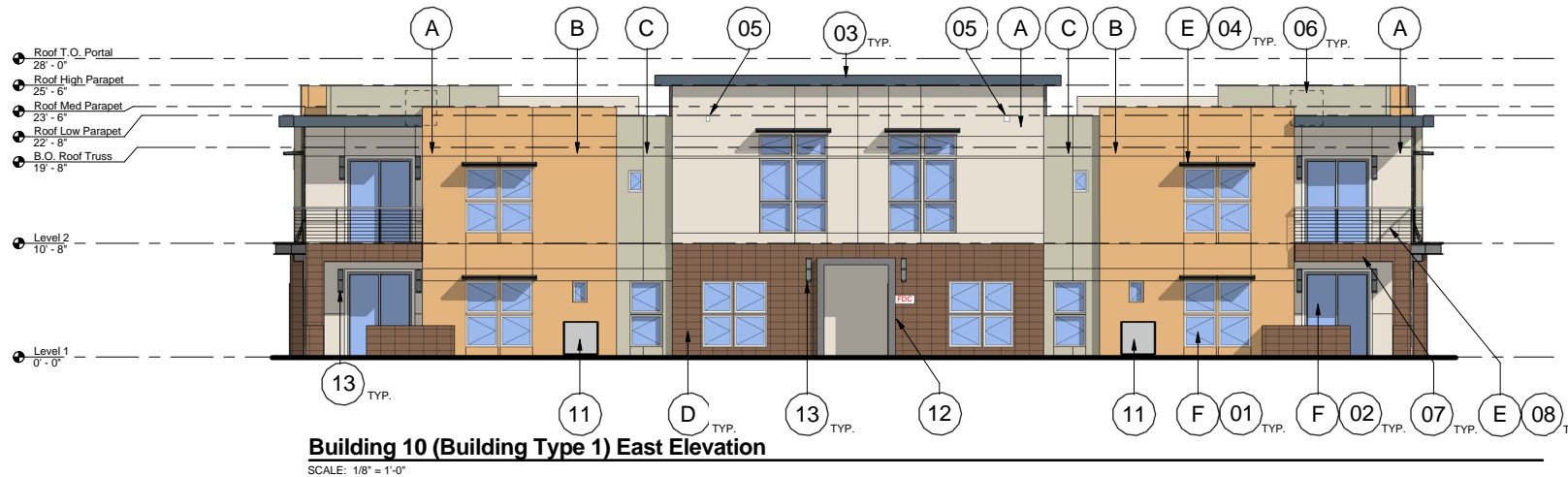
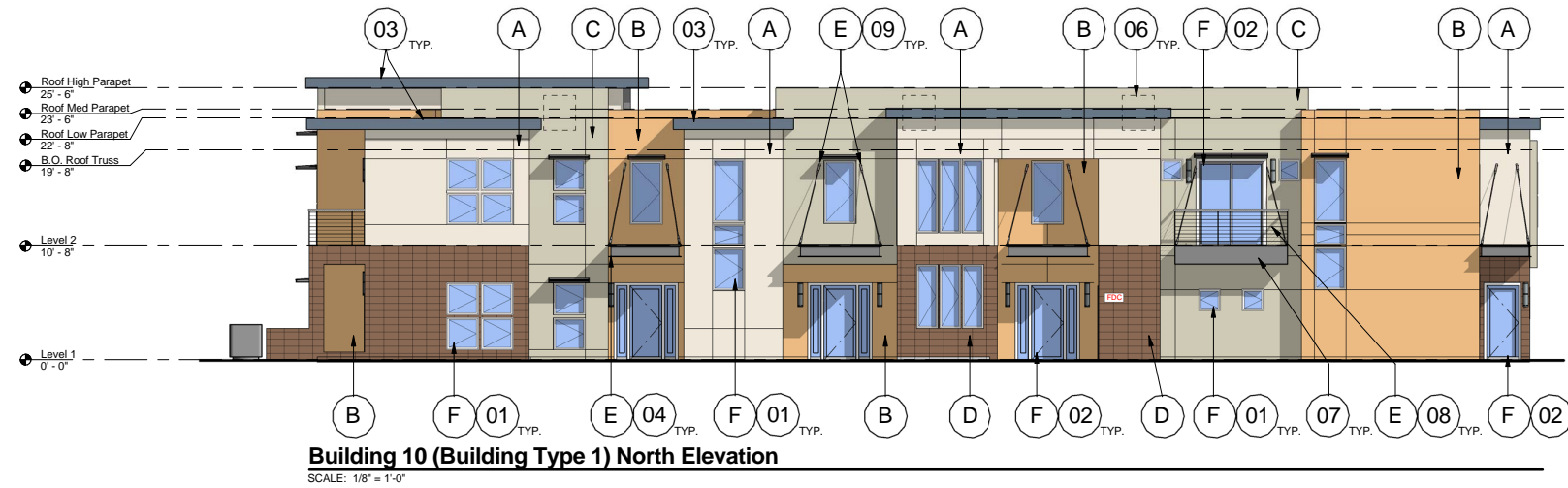
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Account Number	

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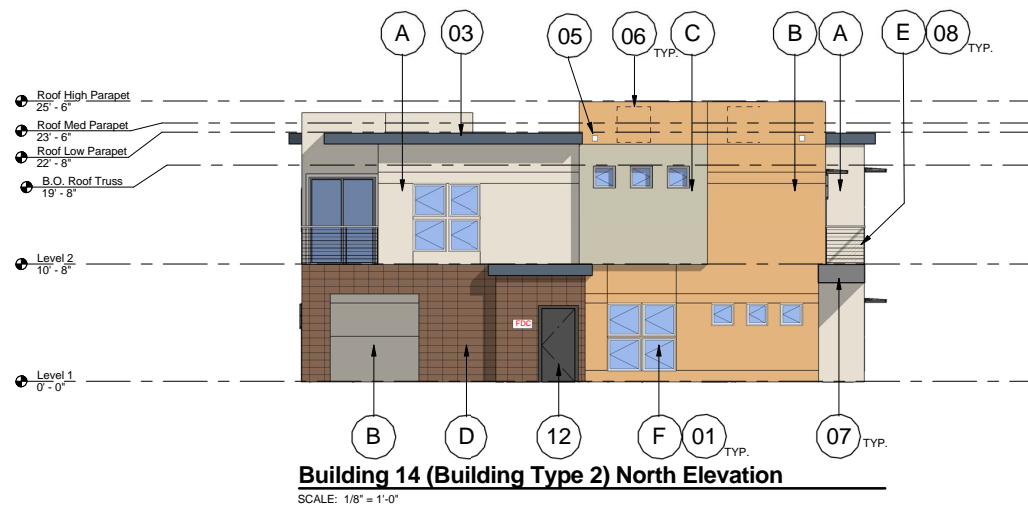
Number _____

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Plot Date: 5/22/2014 2:09:38 PM
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NOTE:
ELEVATIONS SHOWN ARE TYPICAL FOR ALL TYPE 1 BUILDING TYPES WITH COLOR OPTION 1. SEE SITE PLAN FOR SPECIFIC LOCATIONS.

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ROOF DRAINS VIA CONCEALED INTERIOR ROOF DRAINS THAT DAYLIGHT TO NEARBY FOLIAGE.

ROOF ACCESS IS VIA INTERNAL ACCESS HATCHES.

SITE COLOR SCHEME

COLOR OPTION	BUILDING NUMBERS
OPTION 1	1, 4, 8, 13, 14, 16, 18, 22, 26, 27, 30, 31
OPTION 2	3, 5, 6, 10, 21, 24, 28, 32, 23, 29
OPTION 3	2, 7, 9, 11, 12, 15, 17, 19, 20, 25

MATERIALS LEGEND:

- (A) COLOR A OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
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- (C) COLOR C OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (D) CMU OPTION 1 (SEE MATERIAL BOARD FOR SAMPLES)
- (E) EXPOSED STEEL, UNPAINTED
- (F) VINYL, DOUBLE PANE LOW-E GLAZING TYPICAL

KEYED NOTES:

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HanmiGlobal Partner
Otak Architects, Inc
51 W 3rd Street, Suite 201
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6506

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Gilbert, Arizona



LWI Properties

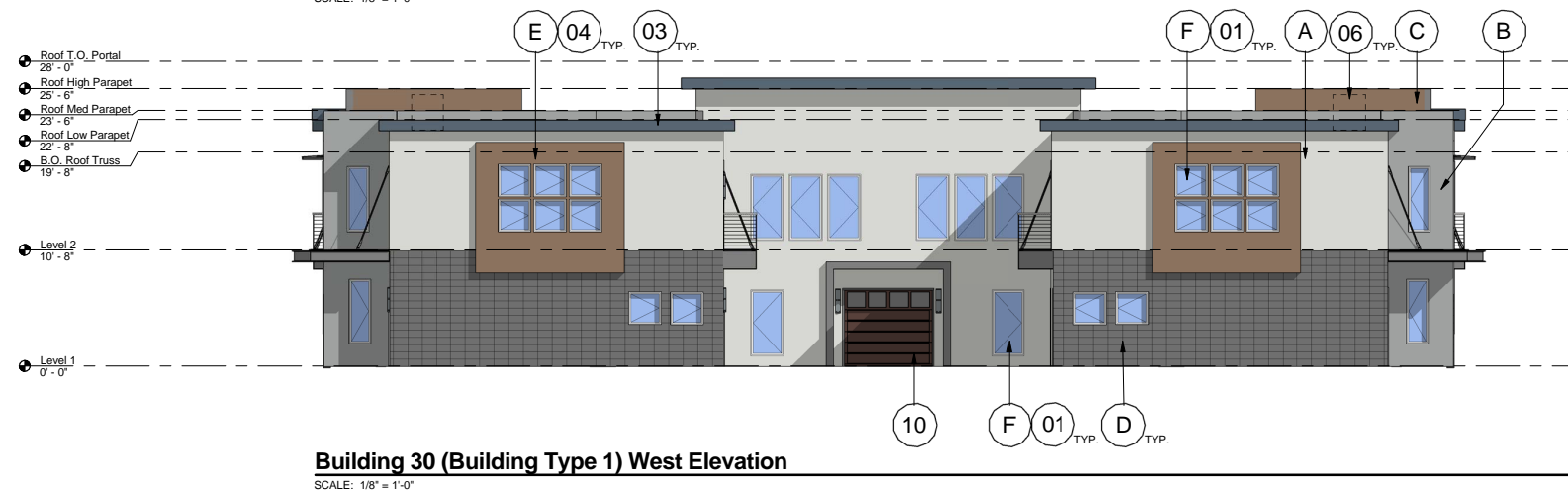
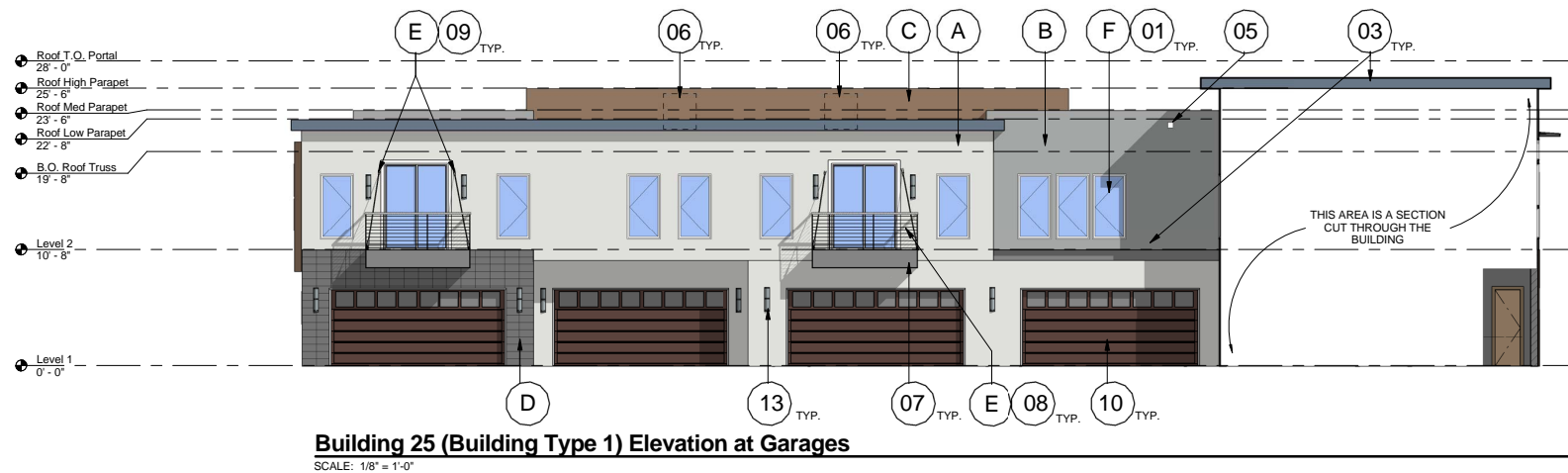
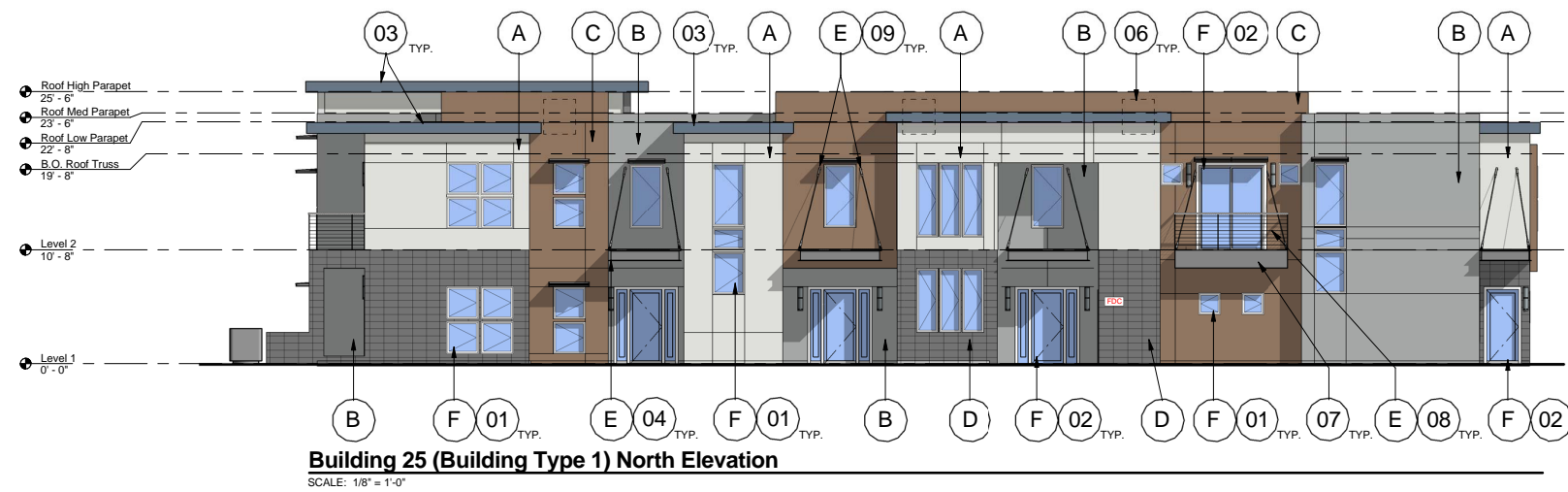
2487 S. Gilbert Road
STE106-210
Gilbert, AZ 85295

Building Type 2
Elevations
Color Options 2

#	Date	Description
Revisions		
5/22/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

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NOTE:
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SITE COLOR SCHEME

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HanmiGlobal Partner
Otak Architects, Inc
51 W 3rd Street, Suite 201
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6506

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LWI Properties

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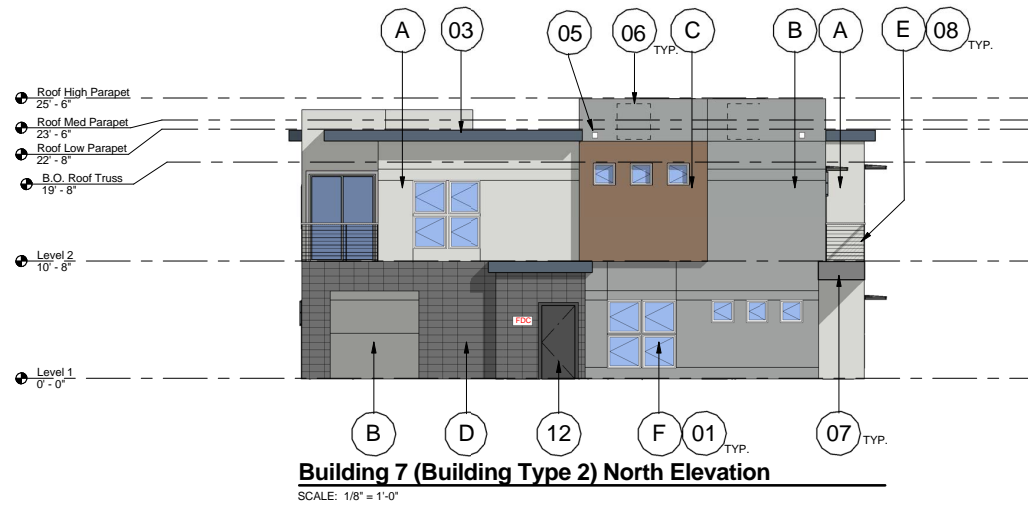
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Elevations
Color Option 3

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Date		
SG/SQ		
Designed By		
SG/SQ		
Drawn By		
SG/SQ		
Checked By		
Proj. # 17174		
Project Number		

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NOTE:
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HanmiGlobal Partner
Otak Architects, Inc
51 W 3rd Street, Suite 201
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6506

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Phase I

Gilbert, Arizona



LWI Properties

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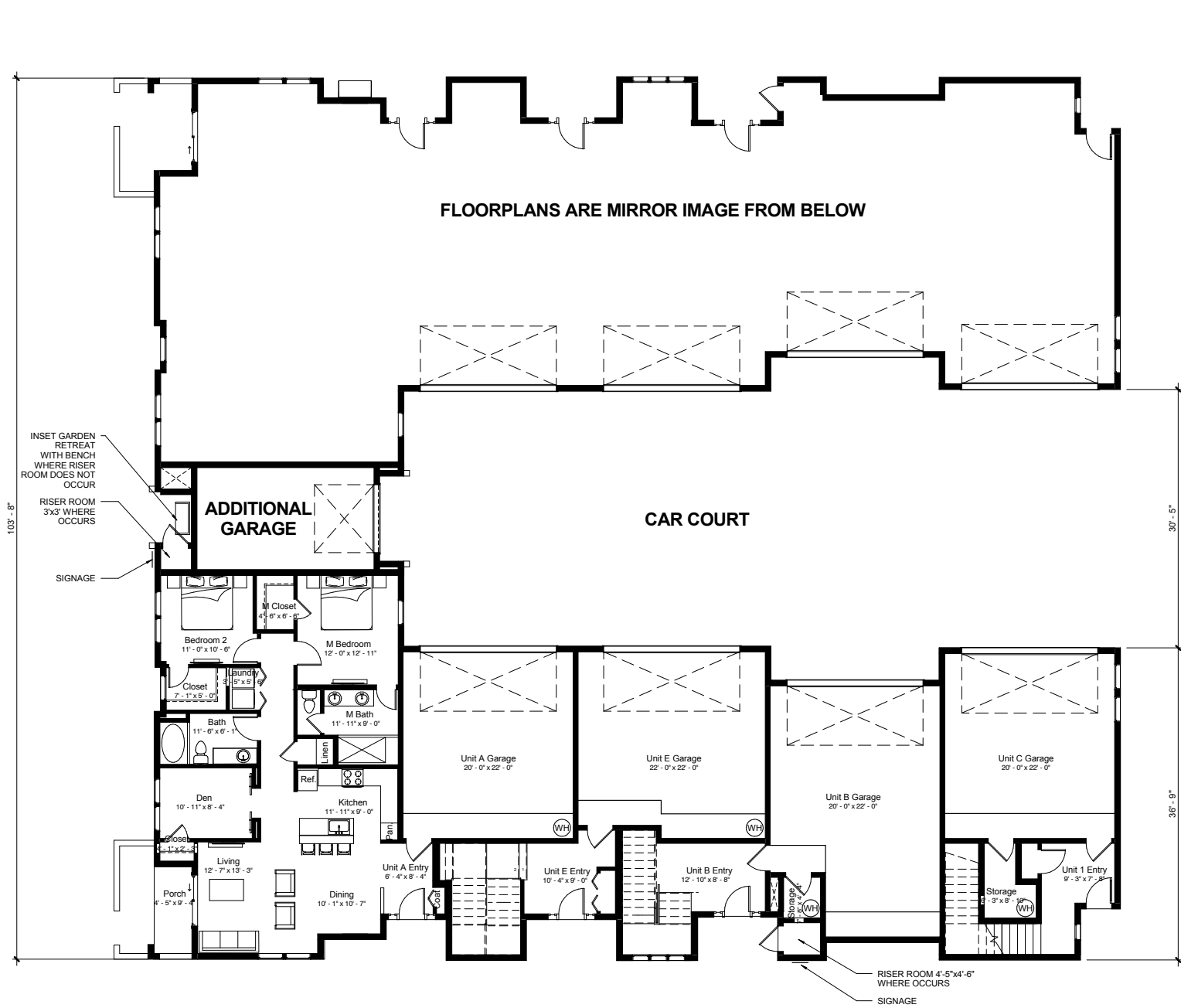
Building Type 2
Elevations
Color Options 3

#	Date	Description
Revisions		
5/22/14		
Date		
Author		
Designed By		
Author		
Drawn By		
Author		
Checked By		
Proj. # 17174		
Project Number		

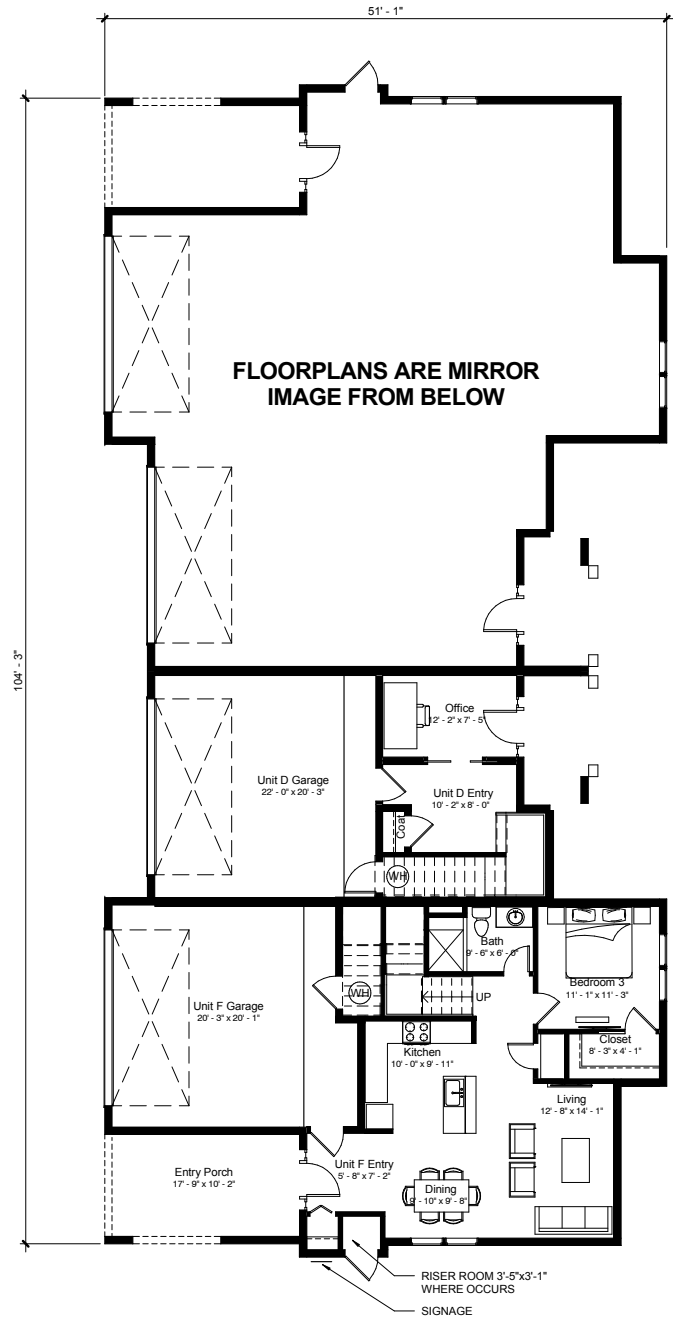
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TYPICAL BUILDING (TYPE 1)



TYPICAL BUILDING (TYPE 2)

Building Composite Ground Floor

SCALE: 1/8" = 1'-0"

SEE SITE PLAN FOR COORDINATE ORIENTATION

GROSS FLOOR AREAS

	1st FLR	2nd FLR	Total
Building 1	8,769	9,034	17,803
Building 2	4,248	4,852	9,100
TOTAL BLD 1&2 - 26,903 SF			

GROSS LEASABLE AREAS

	Total
Unit A	1,277
Unit B	1,353
Unit C	1,462
Unit E	1,575
Building 1	11,334
Unit F	1,619
Unit D	1,549
Building 2	6,336

TOTAL BLD 1&2 - 17,670 SF



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Otak Architects, Inc
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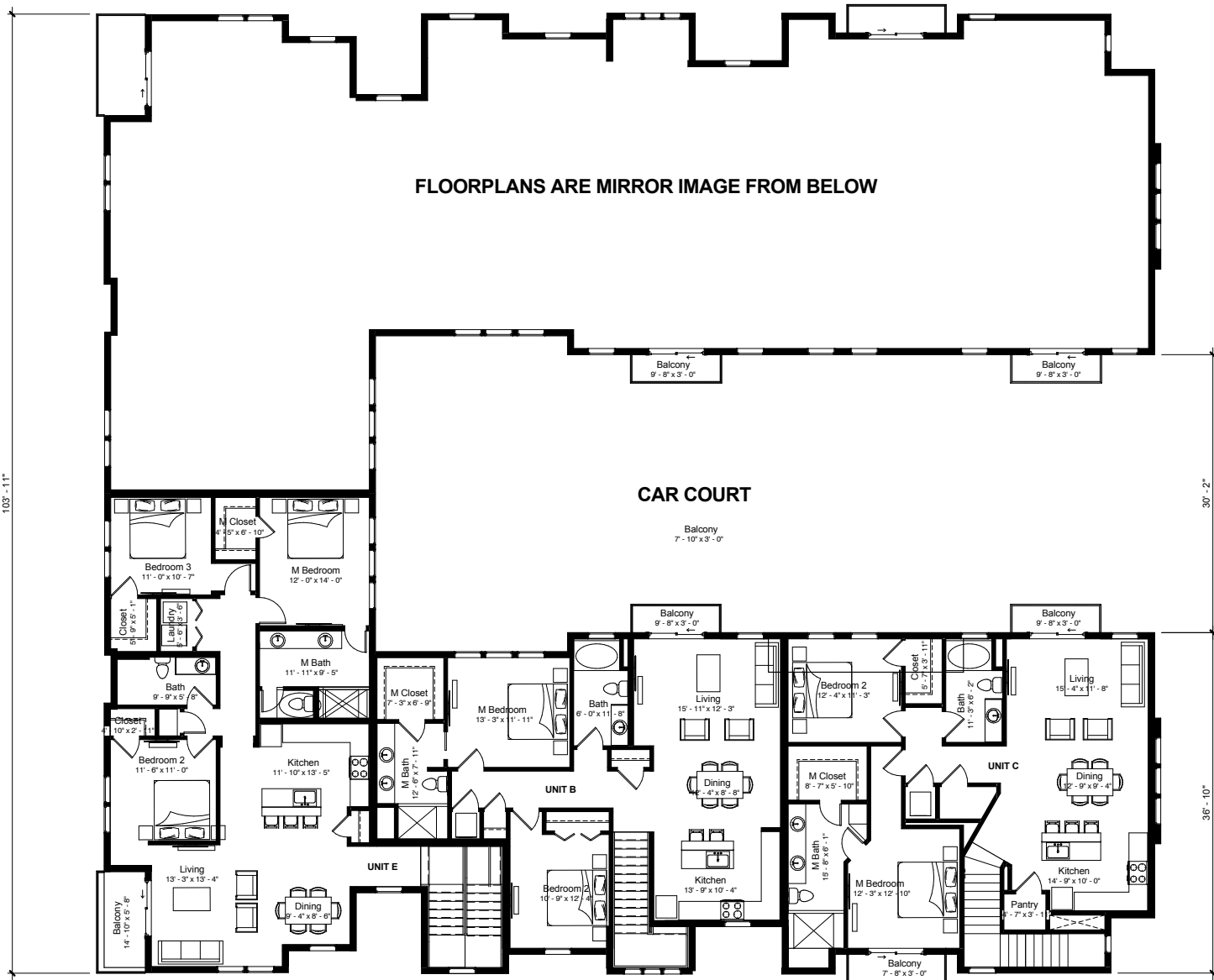
Building Floor
Plans

#	Date	Description
Revisions		
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Proj. # 17174		
Project Number		

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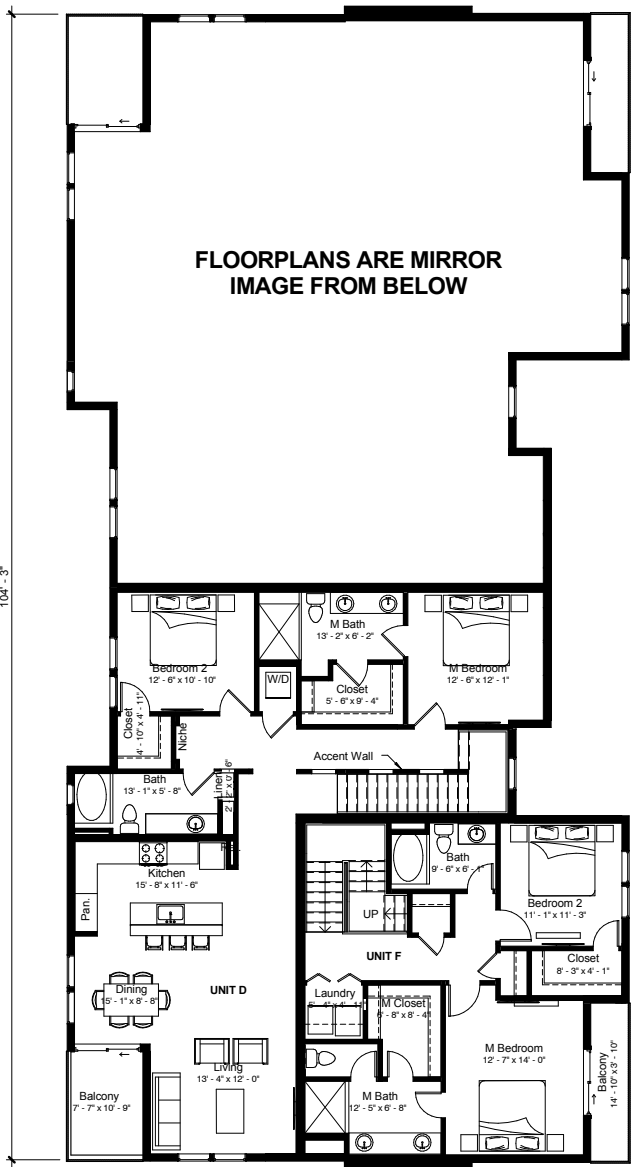


TYPICAL BUILDING (TYPE 1)

Building Composite Second Floor

SCALE: 1/8" = 1'-0"

SEE SITE PLAN FOR
COORDINATE ORIENTATION



TYPICAL BUILDING (TYPE 2)

GROSS FLOOR AREAS

	1st FLR	2nd FLR	Total
Building 1	8,769	9,034	17,803
Building 2	4,248	4,852	9,100
TOTAL BLD 1&2 - 26,903 SF			

GROSS LEASABLE AREAS

	Total
Unit A	1,277
Unit B	1,353
Unit C	1,462
Unit E	1,575
Building 1	11,334
Unit F	1,619
Unit D	1,549
Buiding 2	6,336

TOTAL BLD 1&2 - 17,670 SF



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plans

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Revisions		
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Checked By		
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